



**EXTERIOR INFORMATION**

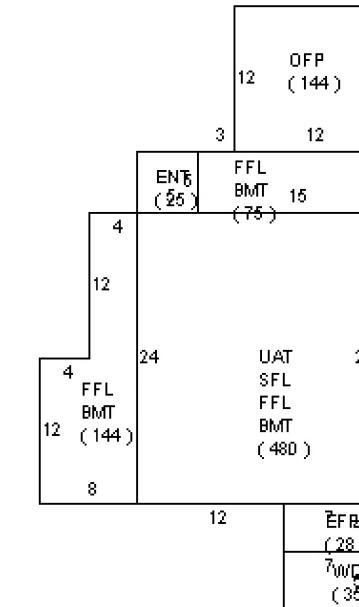
|               |                   |          |
|---------------|-------------------|----------|
| Type:         | 97 - Tudor        |          |
| Sty Ht:       | 2A - 2 Sty +Attic |          |
| (Liv) Units:  | 1                 | Total: 1 |
| Foundation:   | 1 - Concrete      |          |
| Frame:        | 1 - Wood          |          |
| Prime Wall:   | 4 - Vinyl         |          |
| Sec Wall:     |                   | %        |
| Roof Struct:  | 1 - Gable         |          |
| Roof Cover:   | 1 - Asphalt Shgl  |          |
| Color:        | WHITE             |          |
| View / Desir: |                   |          |

**BATH FEATURES**

|            |   |                 |
|------------|---|-----------------|
| Full Bath: | 1 | Rating: Average |
| A Bath:    |   | Rating:         |
| 3/4 Bath:  |   | Rating:         |
| A 3QBth:   |   | Rating:         |
| 1/2 Bath:  | 1 | Rating: Average |
| A HBth:    |   | Rating:         |
| OthrFix:   |   | Rating:         |

**COMMENTS**

|  |  |  |  |  |  |  |  |  |  |  |  |
|--|--|--|--|--|--|--|--|--|--|--|--|
|  |  |  |  |  |  |  |  |  |  |  |  |
|--|--|--|--|--|--|--|--|--|--|--|--|

**SKETCH****RESIDENTIAL GRID**

|              |                                 |           |
|--------------|---------------------------------|-----------|
| 1st Res Grid | Desc: Line 1                    | # Units 1 |
| Level        | FY LR DR D K FR RR BR FB HB L O |           |
| Other        |                                 |           |
| Upper        |                                 |           |
| Lvl 2        |                                 |           |
| Lvl 1        |                                 |           |
| Lower        |                                 |           |
| Totals       | RMS: 6                          | BRs: 3    |
|              | Baths: 1                        | HB: 1     |

**CONDO INFORMATION**

|              |  |
|--------------|--|
| Location:    |  |
| Total Units: |  |
| Floor:       |  |
| % Own:       |  |
| Name:        |  |

**REMODELING**

|            |         |     |     |    |
|------------|---------|-----|-----|----|
| Exterior:  | No Unit | RMS | BRs | FL |
| Interior:  | 1       | 6   | 3   |    |
| Additions: |         |     |     |    |
| Kitchen:   |         |     |     |    |
| Baths:     |         |     |     |    |
| Plumbing:  |         |     |     |    |
| Electric:  |         |     |     |    |
| Heating:   |         |     |     |    |
| General:   |         |     |     |    |
| Totals     | 1       | 6   | 3   |    |

**RES BREAKDOWN**

|            |         |     |     |    |
|------------|---------|-----|-----|----|
| Exterior:  | No Unit | RMS | BRs | FL |
| Interior:  | 1       | 6   | 3   |    |
| Additions: |         |     |     |    |
| Kitchen:   |         |     |     |    |
| Baths:     |         |     |     |    |
| Plumbing:  |         |     |     |    |
| Electric:  |         |     |     |    |
| Heating:   |         |     |     |    |
| General:   |         |     |     |    |
| Totals     | 1       | 6   | 3   |    |

**GENERAL INFORMATION**

|               |             |
|---------------|-------------|
| Grade:        | C - Average |
| Year Blt:     | 1910        |
| Eff Yr Blt:   |             |
| Alt LUC:      |             |
| Alt %:        |             |
| Jurisdict:    |             |
| Fact:         | .           |
| Const Mod:    |             |
| Lump Sum Adj: |             |

**INTERIOR INFORMATION**

|               |                |
|---------------|----------------|
| Avg Ht/FL:    | STD            |
| Prim Int Wal  | 2 - Plaster    |
| Sec Int Wall: |                |
| Partition:    | T - Typical    |
| Prim Floors:  | 3 - Hardwood   |
| Sec Floors:   |                |
| Bsmnt Flr:    | 12 - Concrete  |
| Subfloor:     |                |
| Bsmnt Gar:    |                |
| Electric:     | 3 - Typical    |
| Insulation:   | 2 - Typical    |
| Int vs Ext:   | S              |
| Heat Fuel:    | 2 - Gas        |
| Heat Type:    | 3 - Forced H/W |
| # Heat Sys:   | 1              |
| % Heated:     | 100            |
| % AC:         |                |
| Solar HW:     | NO             |
| Central Vac:  | NO             |
| % Com Wal     | % Sprinkled    |

**DEPRECIATION**

|                     |            |       |
|---------------------|------------|-------|
| Phys Cond:          | GD - Good  | 18. % |
| Functional:         |            | %     |
| Economic:           |            | %     |
| Special:            |            | %     |
| Override:           |            | %     |
| Total:              | 18.6       | %     |
| <b>CALC SUMMARY</b> |            |       |
| Basic \$ / SQ:      | 135.00     |       |
| Size Adj.:          | 1.35000002 |       |
| Const Adj.:         | 0.99989998 |       |
| Adj \$ / SQ:        | 182.232    |       |
| Other Features:     | 67500      |       |
| Grade Factor:       | 1.00       |       |
| NBHD Inf:           | 1.00000000 |       |
| NBHD Mod:           |            |       |
| LUC Factor:         | 1.00       |       |
| Adj Total:          | 364264     |       |
| Depreciation:       | 67753      |       |
| Depreciated Total:  | 296511     |       |
| WtAv\$/SQ:          |            |       |
| AvRate:             |            |       |
| Ind.Val:            |            |       |
| Juris. Factor:      |            |       |
| Special Features:   | 0          |       |
| Final Total:        | 296500     |       |
| Val/Su Net:         | 132.96     |       |
| Val/Su SzAd:        | 251.48     |       |

**COMPARABLE SALES**

| Rate | Parcel ID | Typ | Date | Sale Price |
|------|-----------|-----|------|------------|
|      |           |     |      |            |
|      |           |     |      |            |
|      |           |     |      |            |
|      |           |     |      |            |

**SUB AREA**

| Code    | Description        | Area - SQ | Rate - AV | Undepr Value   | Sub Area | % Usbl | Descrip | % Type | Qu # Ten |
|---------|--------------------|-----------|-----------|----------------|----------|--------|---------|--------|----------|
| BMT     | Basement           | 699       | 84.870    | 59,327         | BMT      | 100    | RRM     | 85 A   |          |
| FFL     | First Floor        | 699       | 182.230   | 127,380        | UAT      | 100    | FLA     | 100 A  |          |
| SFL     | Second Floor       | 480       | 182.230   | 87,471         |          |        |         |        |          |
| OPF     | Open Porch         | 144       | 27.960    | 4,026          |          |        |         |        |          |
| UAT     | Upper Attic        | 120       | 127.560   | 15,307         |          |        |         |        |          |
| WDK     | Deck               | 35        | 16.000    | 560            |          |        |         |        |          |
| EFP     | Enclos Porch       | 28        | 72.590    | 2,033          |          |        |         |        |          |
| ENT     | ENTRY              | 25        | 26.400    | 660            |          |        |         |        |          |
|         | Net Sketched Area: | 2,230     |           | Total: 296,764 |          |        |         |        |          |
| Size Ad | Gross Area         | 2590      | FinArea   | 1893           |          |        |         |        |          |

**IMAGE**

**AssessPro Patriot Properties, Inc**